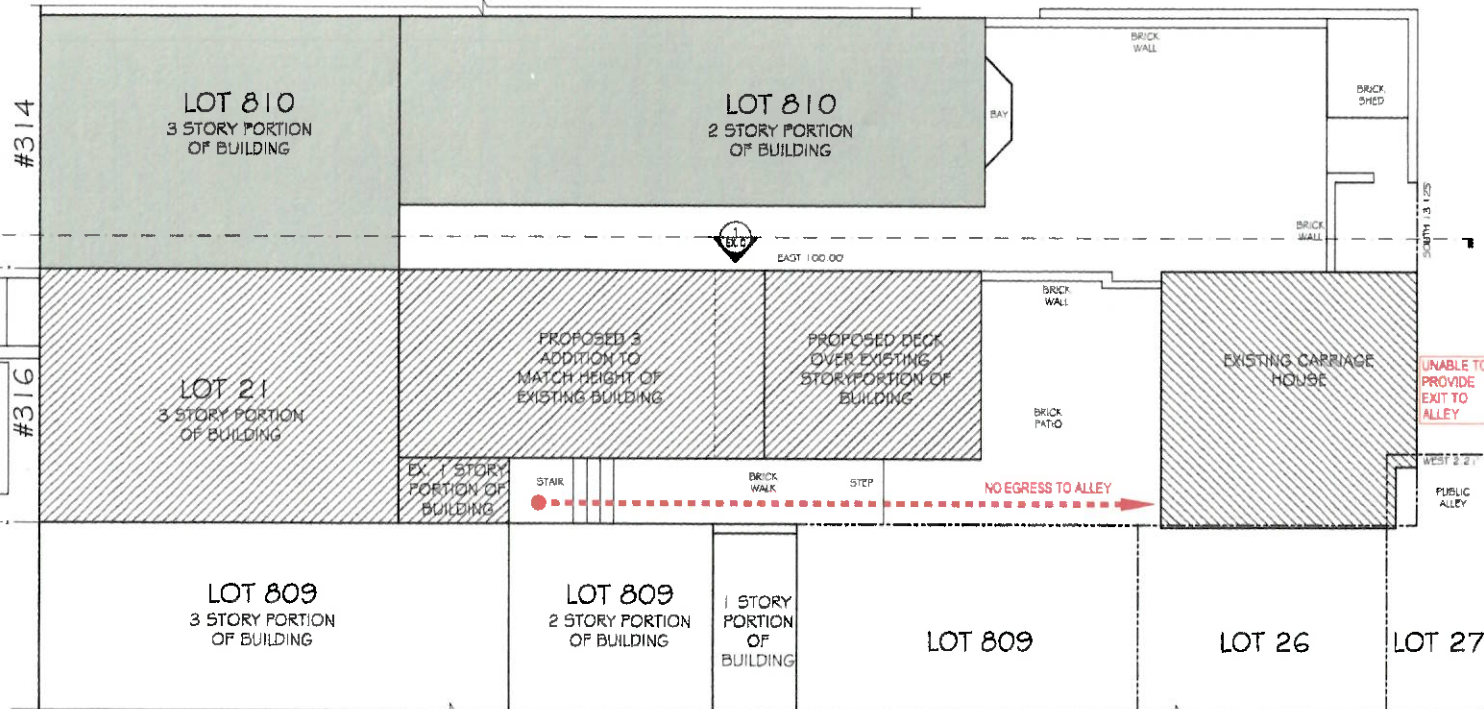


Exhibit **bb**

2ND STREET SE

NORTH 1/8 2/6



1 SITE PLAN
EX. A SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND DISTANCES SHOWN ON THIS PLAN ARE APPROXIMATE. THE OWNER AND ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY SURVEY DATA AND FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN.

DEL STUDIO
ARCHITECTS
750 MARYLAND ROUTE 3 SOUTH, SUITE 7
CAMPBELL, MARYLAND 2064
T: 410-523-4827 F: 410-523-4828

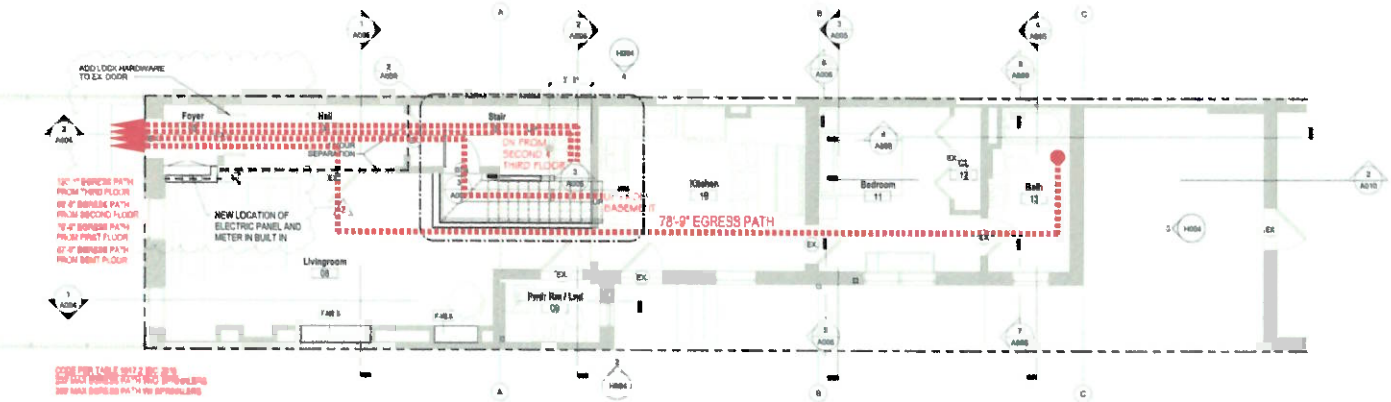
314 2ND STREET SE EXHIBIT A

314 2ND STREET SE
WASHINGTON, D.C. 20003

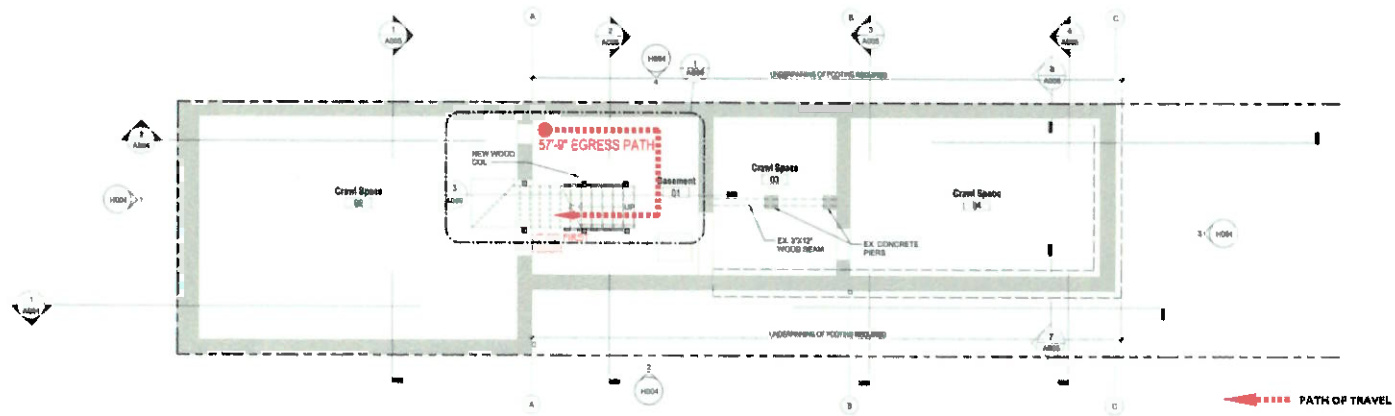
EX. A

Board of Zoning Adjustment
District of Columbia
CASE NO.20782
EXHIBIT NO.12

42



1 FIRST FLOOR EGRESS PLAN
EX. B1 SCALE: 1/4"=1'-0"



2 BASEMENT EGRESS PLAN
EX. B1 SCALE: 1/4"=1'-0"

DEL STUDIO
ARCHITECTS
750 MARYLAND ROUTE 3 SOUTH, SUITE 7
GAMERILLS, MARYLAND 21054
T. 410-923-0622 F. 410-923-0628

314 2ND STREET SE EXHIBIT B

314 2ND STREET SE
WASHINGTON, D.C. 20003

EX. B1

Exhibit

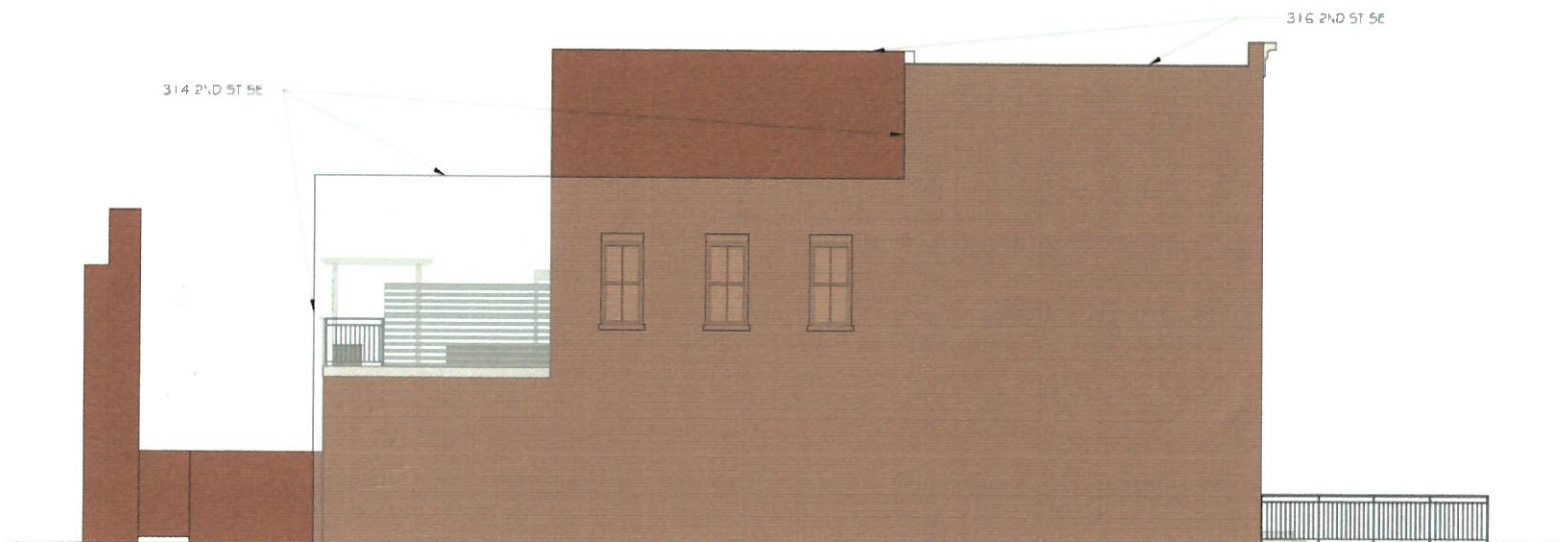


DEL STUDIO
 **ARCHITECTS**
750 MARYLAND ROUTE 3 SOUTH, SUITE 7
GAMERILLS, MARYLAND 21054
T. 410-923-0922 F. 410-923-0928

314 2ND STREET SE WASHINGTON, D.C. 20003	EXHIBIT B
---	-----------

EX. B2

Exhibit
be



1
EX. C
ELEVATION SHOWS BLOCKAGE OF LIGHT BY 316 2ND ST SE
SCALE: 1/4"=1'-0"

ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTER OF THE ELEMENT UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO BE USED FOR CONSTRUCTION PURPOSES ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING.

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ARCHITECTS
750 MARYLAND ROUTE 3 SOUTH, SUITE 7
CAMERILLAS, MARYLAND 21654
T 410-653-0822 F 410-653-0826

314 2ND STREET SE EXHIBIT C

314 2ND STREET SE
WASHINGTON, D.C. 20003

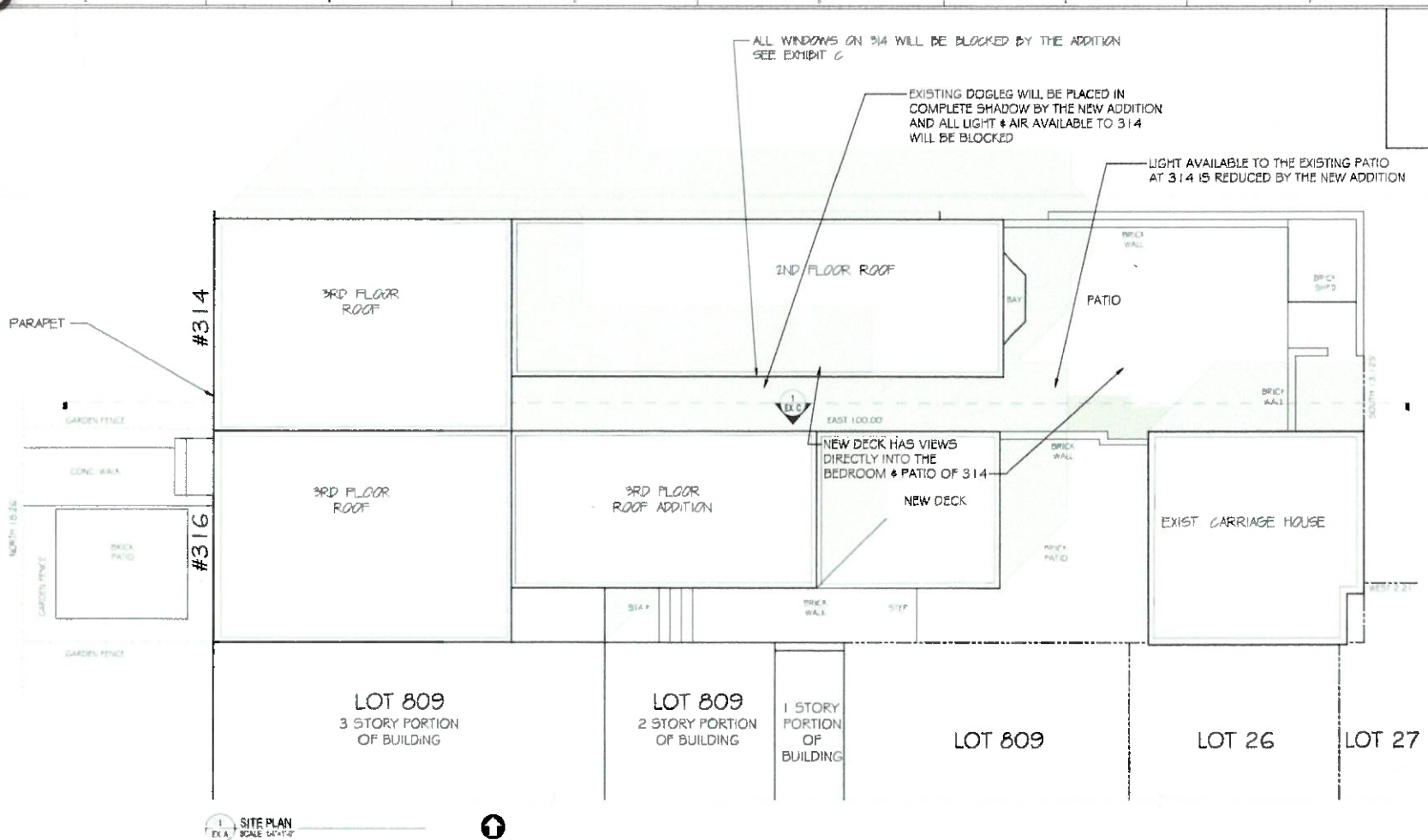
NO.	DATE	DESCRIPTION
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2	10/1/2018	ISSUED FOR PERMIT
3	10/1/2018	ISSUED FOR PERMIT
4	10/1/2018	ISSUED FOR PERMIT
5	10/1/2018	ISSUED FOR PERMIT
6	10/1/2018	ISSUED FOR PERMIT
7	10/1/2018	ISSUED FOR PERMIT
8	10/1/2018	ISSUED FOR PERMIT
9	10/1/2018	ISSUED FOR PERMIT
10	10/1/2018	ISSUED FOR PERMIT

EX. C

6f

Exhibit

2ND STREET SE



1 SITE PLAN
EX.A SCALE 1/4"=1'-0"



316 2ND ST ADDITION

BLOCKAGE OF AIR AND LIGHT TO 314 2ND ST

ALL DIMENSIONS AND SPACING ARE APPROXIMATE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF THE USER'S ACTIONS OR OMISSIONS.

DEL STUDIO
ARCHITECTS
700 MARYLAND AVENUE, SUITE 7
CAMERILL, MARYLAND 21044
T. 410-922-0882 F. 410-922-0886

314 2ND STREET SE EXHIBIT D
314 2ND STREET SE
WASHINGTON, D.C. 20003

EX. D

HOWELL RESIDENCE 314 2ND STREET SE WASHINGTON, D.C. 20003

CARGILL ADDITION LIGHT OBSTRUCTION
316 2ND STREET SE
WASHINGTON, D.C. 20003

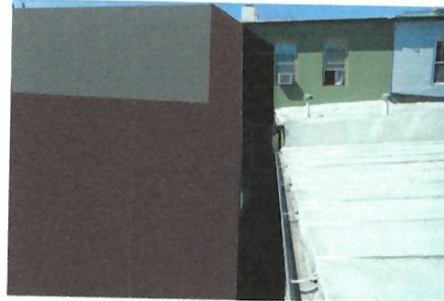
EXISTING SHADE CONDITIONS



CARGILL RESIDENCE (EXISTING)
316 2ND STREET SE

HOWELL RESIDENCE
314 2ND STREET SE

1 EXISTING CONDITION



CARGILL ADDITION
316 2ND STREET SE

HOWELL RESIDENCE
314 2ND STREET SE

2 LIGHT OBSTRUCTION



HOWELL RESIDENCE EAST PATIO
314 2ND STREET SE
PREDOMINANTLY IN
SHADE PRIOR TO
CARGILL ADDITION



EXISTING AIR/LIGHT
AVAILABILITY
AREA BETWEEN BUILDINGS
PREDOMINANTLY IN SHADE
PRIOR TO CARGILL
ADDITION

BEFORE AND AFTER COMPARISONS



CARGILL RESIDENCE (EXISTING)
316 2ND STREET SE

HOWELL RESIDENCE
314 2ND STREET SE

1 EXISTING CONDITION



CARGILL ADDITION
316 2ND STREET SE

HOWELL RESIDENCE
314 2ND STREET SE

2 LIGHT OBSTRUCTION



HOWELL RESIDENCE
314 2ND STREET SE

CARGILL RESIDENCE (EXISTING)
316 2ND STREET SE

1 EXISTING CONDITION



HOWELL RESIDENCE
314 2ND STREET SE

CARGILL RESIDENCE (EXISTING)
316 2ND STREET SE

2 LIGHT OBSTRUCTION

DEL STUDIO
HITECTS
750 MARYLAND ROUTE 3 SOUTH, SUITE 7
GAMBRILLS, MARYLAND 21054
T: 410-923-0822 F: 410-923-0823

314 2ND STREET SE EXHIBIT E

314 2ND STREET SE
WASHINGTON, D.C. 20003

EX. E

HOWELL RESIDENCE
314 2ND STREET SE
WASHINGTON, D.C. 20003
CARGILL ADDITION VIEW & LIGHT OBSTRUCTION
316 2ND STREET SE
WASHINGTON, D.C. 20003



EXISTING CONDITION
HOWELL RESIDENCE VIEW
* LIGHT UNOBSTRUCTED
BY EXISTING CARGILL
RESIDENCE



2 VIEW & LIGHT OBSTRUCTION
HOWELL RESIDENCE
VIEW & LIGHT BLOCKED
BY CARGILL ADDITION

BEFORE AND AFTER COMPARISONS



1 EXISTING CONDITION
UNOBSTRUCTED VIEW
FROM HOWELL RESIDENCE
TOWARDS D STREET



2 VIEW OBSTRUCTION
VIEW FROM HOWELL
RESIDENCE TOWARDS
D STREET BLOCKED BY
CARGILL ADDITION

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR STUDIO ARCHITECTS

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ARCHITECTS
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GAMERILLS, MARYLAND 21054
TEL: 410.396.0000 FAX: 410.396.0001
WWW.DELSTUDIO.COM

314 2ND STREET SE EXHIBIT E

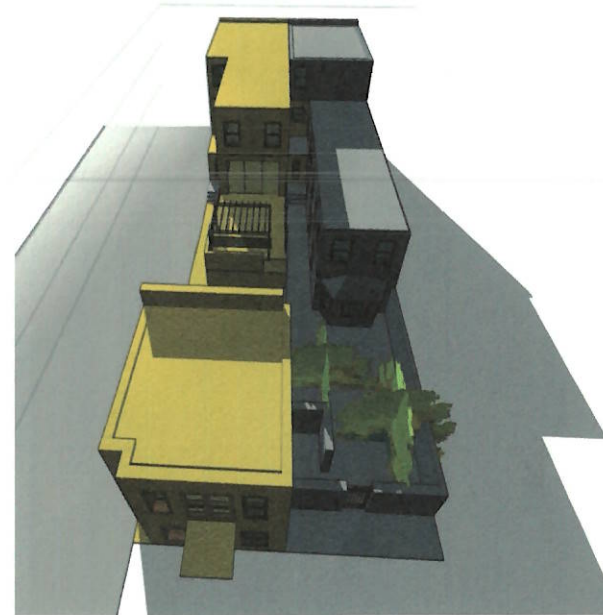
314 2ND STREET SE
WASHINGTON, D.C. 20003

EX. F

61
Exhibit

HOWELL RESIDENCE
314 2ND STREET SE
WASHINGTON, D.C. 20003
CARGILL ADDITION LIGHT & AIR OBSTRUCTION
316 2ND STREET SE
WASHINGTON, D.C. 20003

RENDERINGS ILLUSTRATE THE
COMPLETE BLOCKAGE OF LIGHT & AIR
AVAILABILITY TO THE SOUTH FACADE
OF THE HOWELL RESIDENCE



2 LIGHT & AIR OBSTRUCTION (VIEW FROM EAST)
HOWELL RESIDENCE
LIGHT & AIR BLOCKED BY
THE CARGILL ADDITION



1 LIGHT & AIR OBSTRUCTION (VIEW FROM SOUTH)
HOWELL RESIDENCE
LIGHT & AIR BLOCKED BY
THE CARGILL ADDITION

<small>ALL DIMENSIONS AND VOLUMES ARE APPROXIMATE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND VOLUMES. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND VOLUMES. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND VOLUMES.</small>	
DEL STUDIO ARCHITECTS 750 MARSH AND ROUTE 3 SOUTH SUITE 7 CAMBRIDGE, MASSACHUSETTS 02142 T: 419-523-0022 F: 419-523-0028	
314 2ND STREET SE EXHIBIT G	314 2ND STREET SE WASHINGTON, D.C. 20003
EX. G	

Cargill Residence: 316 2nd Street SE, Washington DC

Exhibit 4



1 Existing



3 Rear View



2 Brick Addition

3D Rendering of New Addition
(Permit Revision 4)

3454 Ellicott Center Drive, Suite 107, Ellicott City, MD 21043

410 680 8900



KGRW & Associates, LLC

Exhibit



42

314 2nd ST, S.E.
LOT 810

EX. 3 STORY

EX. 2 STORY

EX. 1 STORY

EX. BRICK WALL

RESERVED PARKING
314 A & B

PUBLIC ALLEY

316 2nd ST, S.E.
LOT 21

EX. 3 STORY

PROP. 3RD STORY

PROP. 2ND STORY DECK

EX. 2 STORY

EX. 1 STORY

EX. PATIO

EX. 2 STORY
CARRIAGE HOUSE

1 STORY

EX. BRICK WALL

LOT 27

LOT 809

EX. BLDG

LOT 26

DATE	REVISIONS	 Landesign ENGINEERS • SURVEYORS • PLANNERS 2804 MITCHELLVILLE ROAD SUITE NO. 111 BOONE, MARYLAND 20814 PH: (301) 246-8802 FAX: (301) 246-8803 e-mail: landesign@comcast.net	DEVELOPER	BUILDING LOCATION EXHIBIT 314 2ND STREET S.E. LOTS 21 & 610 BOX 763 WASHINGTON, DC	314 2ND STREET S.E. LOTS 21 & 610 BOX 763 WASHINGTON, DC	DATE: NOVEMBER, 2001	SCALE: 1" = 4'
						DESIGN BY:	DRAWN BY: AAL
						CHECKED BY: R.E.	SHEET NO. 1 OF 1
						COMPILED BY: FEB 1998	JOB NO. 21-082

Checked		0001
Checked		

Plat Plan w/ Existing and Proposed Improvements

1" = 20' 0"



TOTAL LOT SIZE = 1.8145 F		
1ST FLOOR (GROUND LEVEL)		
CARRIAGE HOUSE	18'7" x 13'1" =	245.0 S F
	(18'7" x 22'5" =	842 S F
MAIN RESIDENCE	33'8" x 18'26" =	616.8 S F
	34'1" x 13'5" =	460.4 S F
TOTAL = 1,406.4 S F (EXISTING UNCHANGED)		

2ND FLOOR	
CARRIAGE HOUSE	18'7" x 13'1" = 245.0 S.F. (18'7" x 22'5" = 424.2 S.F.)
MAIN RESIDENCE	25'8" x 18'25" = 470.8 S.F. 23'0" x 13'5" = 310.5 S.F.
ADDITION	10' x 13'5" = 135.5 S.F.
TOTAL	= 1,124.0 S.F.
LOT COVERAGE %	1,124.0 / 0.1814 = 81.96%
3RD FLOOR	
MAIN RESIDENCE	25'8" x 18'25" = 470.8 S.F. 23'0" x 13'5" = 310.5 S.F.
ADDITION	10' x 13'5" = 135.5 S.F.
TOTAL	= 914.8 S.F.
LOT COVERAGE %	914.8 / 0.1814 = 43.1%



Cargill Residence

316 2nd Street SE, Washington, DC 20003

4	08/11/2021	Revision 4
3	12/17/2020	Revision 3
2	10/19/2020	Revision 2
1	07/25/2020	Revision 1
0	08/11/2020	Parent Set
No.	Date	Description

SITE PLAN

0002



- CEILING - PAINTED GYP
- WALLS PAINTED GYP EXCEPT TILE WHERE NOTED IN BATHROOMS
- FLOOR - NEW LVT PROVIDE ADD'L PRICING FOR HARDWOOD OAK

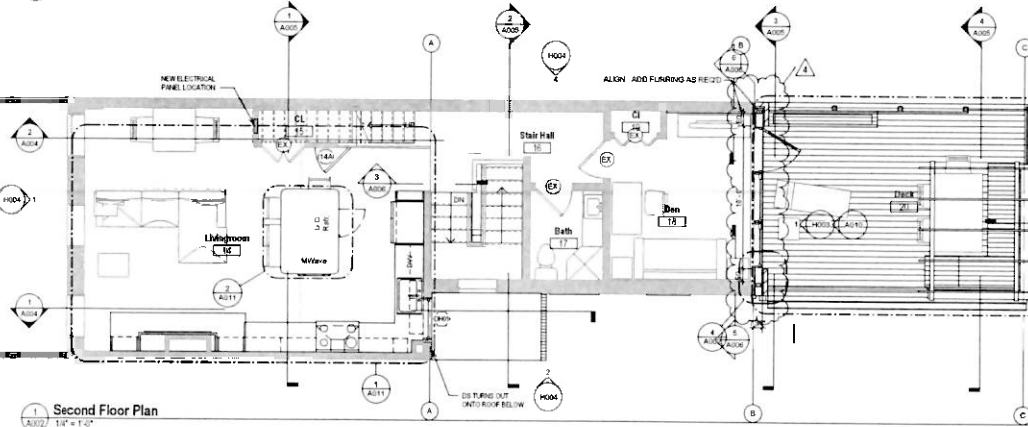
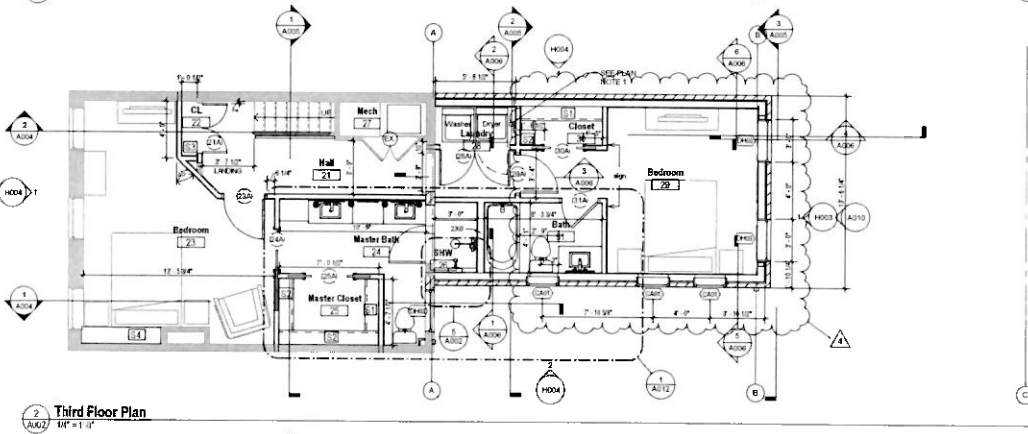
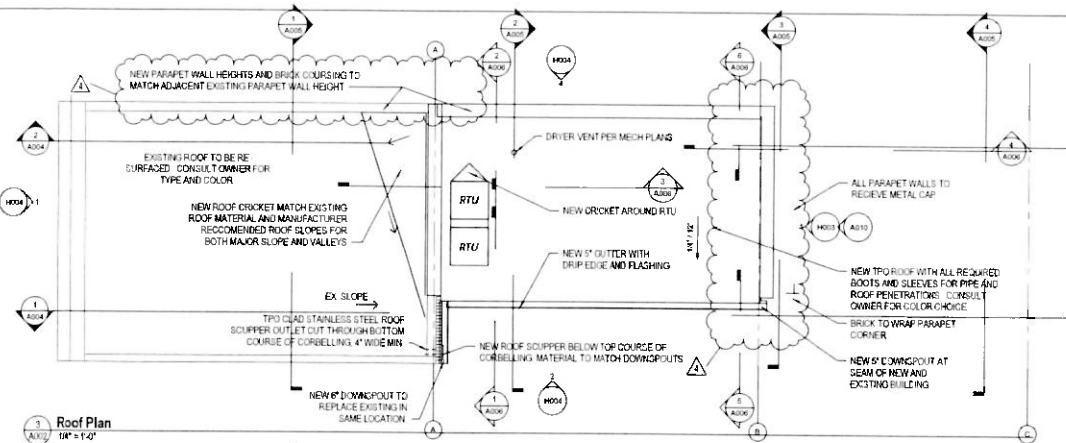


KGRW & Associates, LLC
Development Services | Planning | Architecture | Interiors
1000 E. 15th Street, Suite 200 | Des Moines, IA 50319 | 515.281.1000 | www.kgrw.com

316 2nd Street SE, Washington, DC 20003

4	08/11/2021	Revision 4
3	12/17/2020	Revision 3
2	10/19/2020	Revision 2
1	07/25/2020	Revision 1
0	08/11/2020	PlantR Set
No.	Date	Description

Drawn By		A001
Checked		
Project No.	111111	



PLAN NOTES:

1. WASHER AND DRYER TO BE ON NEW RAISED PLATFORM AS REQUIRED FOR NEW DUCTWORK BELOW SEE MECHANICAL FINISH (SAME AS FLOOR WITH HARDWOOD CORNER TRIM STAINED TO MATCH)

SHELVING SCHEDULE

01. SINGLE HANGING SHELVING INSTALL @ 5'-0" MELAMINE
02. DOUBLE HANGING SHELVING INSTALL @ 3'-0" & 6'-0" MELAMINE
03. LINEN SHELVING INSTALL 4 SHELVES @ 12" VERTICALLY STARTING AT 2'-0" AFF
04. BEDROOM SHELVING INSTALL 3/4" FINISHED OPEN WOOD SHELVES @ 14" STARTING AT 2'-0"

FINISHES

BASEMENT

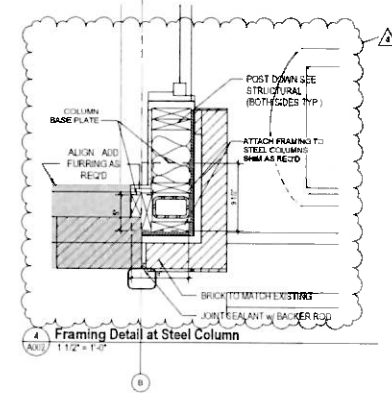
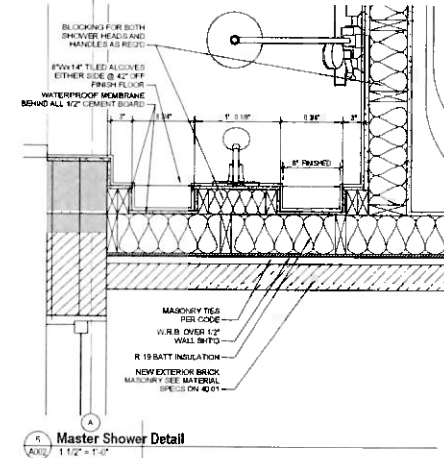
- 1. WALLS AND CEILING - NONE
- 2. NEW STAIRS - UNFINISHED WOOD BOX STAIR

FIRST FLOOR:

- 1. FLOORS - NEW LVT

SECOND - THIRD FLOORS

- 1. CEILING - PAINTED GYP
- 2. WALLS PAINTED GYP EXCEPT TILE WHERE NOTED IN BATHROOMS
- 3. FLOOR - NEW LVT PROVIDE ADD'L PRICING FOR HARDWOOD OAK



I hereby certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect in the District of Columbia.

KGW & Associates, LLC
316 2nd Street SE, Washington, DC 20003
404.896.8800
www.kgw-llc.com



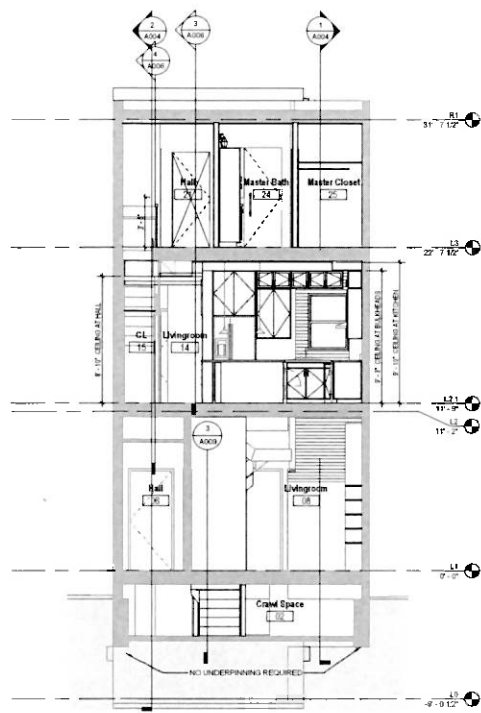
KGW & Associates, LLC
Development Services | Planning | Architecture | Interiors
1040 15th Street NW, Suite 200, Washington, DC 20004

Cargill Residence
316 2nd Street SE, Washington, DC 20003

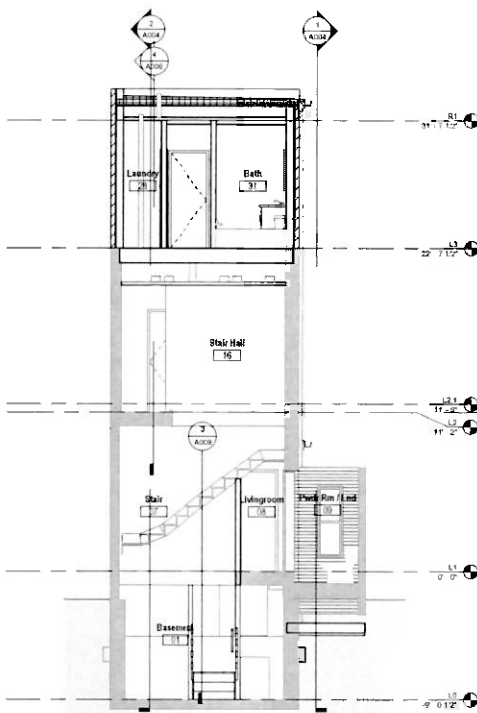
4	08/11/2021	Revision 4
3	02/17/2020	Revision 3
2	09/10/2019	Revision 2
1	07/25/2019	Revision 1
0	08/11/2020	Permit Set

FLOOR AND ROOF PLANS

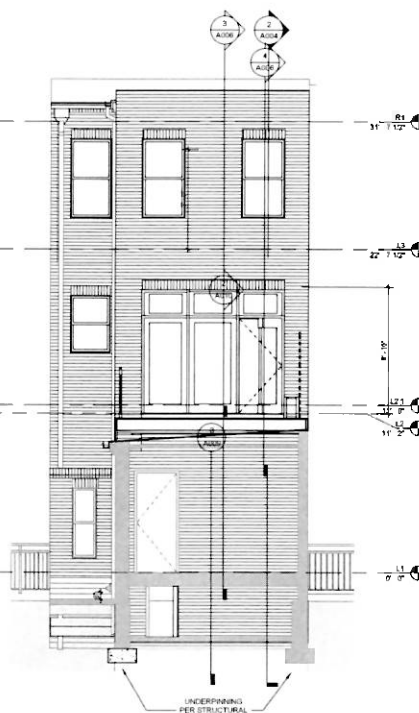
A002



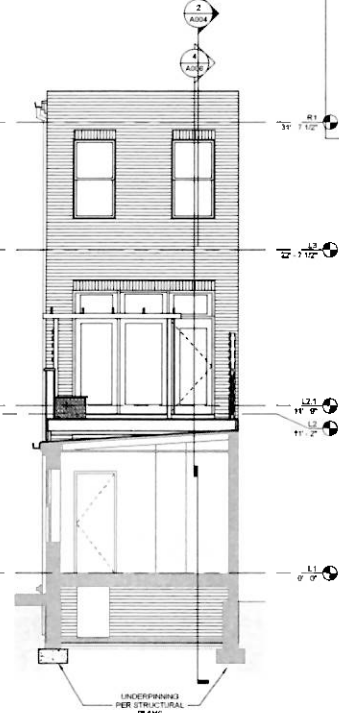
1 Cross Section 1
1/4" = 1'-0"



2 Cross Section 2
1/4" = 1'-0"



3 Cross Section 3
1/4" = 1'-0"



4 Cross Section 4
1/4" = 1'-0"

TABLE 0402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. The air barrier in any dropped ceiling/light shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or door wall doors to unconditioned attic spaces shall be sealed.	Air permeable insulation shall not be used as a sealing material.
Ceiling/light	The air barrier in any dropped ceiling/light shall be aligned with the insulation and any gaps in the air barrier shall be sealed.	*The insulation in any dropped ceiling/light shall be aligned with the air barrier.
Walls	The junction of the foundation and all plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be sealed by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior exterior insulation shall be framed walls shall be sealed to substrate or contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door frames and framing and daylighting and framing shall be sealed.	
Roof joists	Roof joists shall include the air barrier.	Roof joists shall be insulated.

Floors (including above garage and caroverlaid floors)	The air barrier shall be installed at any exposed edge of insulation.	Four framing cavity insulation shall be installed to maintain perimeter contact with the underside of exterior decking or floor framing cavity insulation shall be permitted to be in contact with the top view of exterior, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Exterior light wells	Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with permeability rating of 0.1 perm.	Where provided instead of floor insulation, insulation shall be permanently attached to the ceiling space joists.
Shafts, penetrations	Drift shafts, utility penetrations, and duct stubs opening to exterior or unconditioned space shall be sealed.	Drifts in masonry cavities shall be sealed to 1/4" or masonry cavities shall be filled by insulation that on insulation ready cutters to the outside cavity space.
Vapor cavities		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.
Framing and wiring		That insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on insulation ready cutters to the outside cavity space shall extend beyond sealing and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/plumbing box on exterior walls	The air barrier shall be installed around electrical or communication boxes or air-sealed doors shall be provided.	
Plastic register doors	Plastic register doors that penetrate building thermal envelope shall be sealed to the exterior or drywall.	
Unvented crawlspaces	When required to be sealed, conditioned for crawlspaces shall only be sealed in a manner that is recommended by the manufacturer. Crawlspaces or other subterranean spaces shall not be used to fill voids between the sprinkler cover plates and walls or ceilings.	

* In addition, exterior wall and roof shall be in accordance with the provisions of 0402.4.1.1.

I certify that these documents were prepared by myself or under my direct supervision and that I am a duly licensed professional engineer or architect in the State of Maryland. (Professional Seal Required)

PROJECT
KGRW & Associates, LLC
1800 14th St NW
Washington, DC 20005
www.kgrw.com



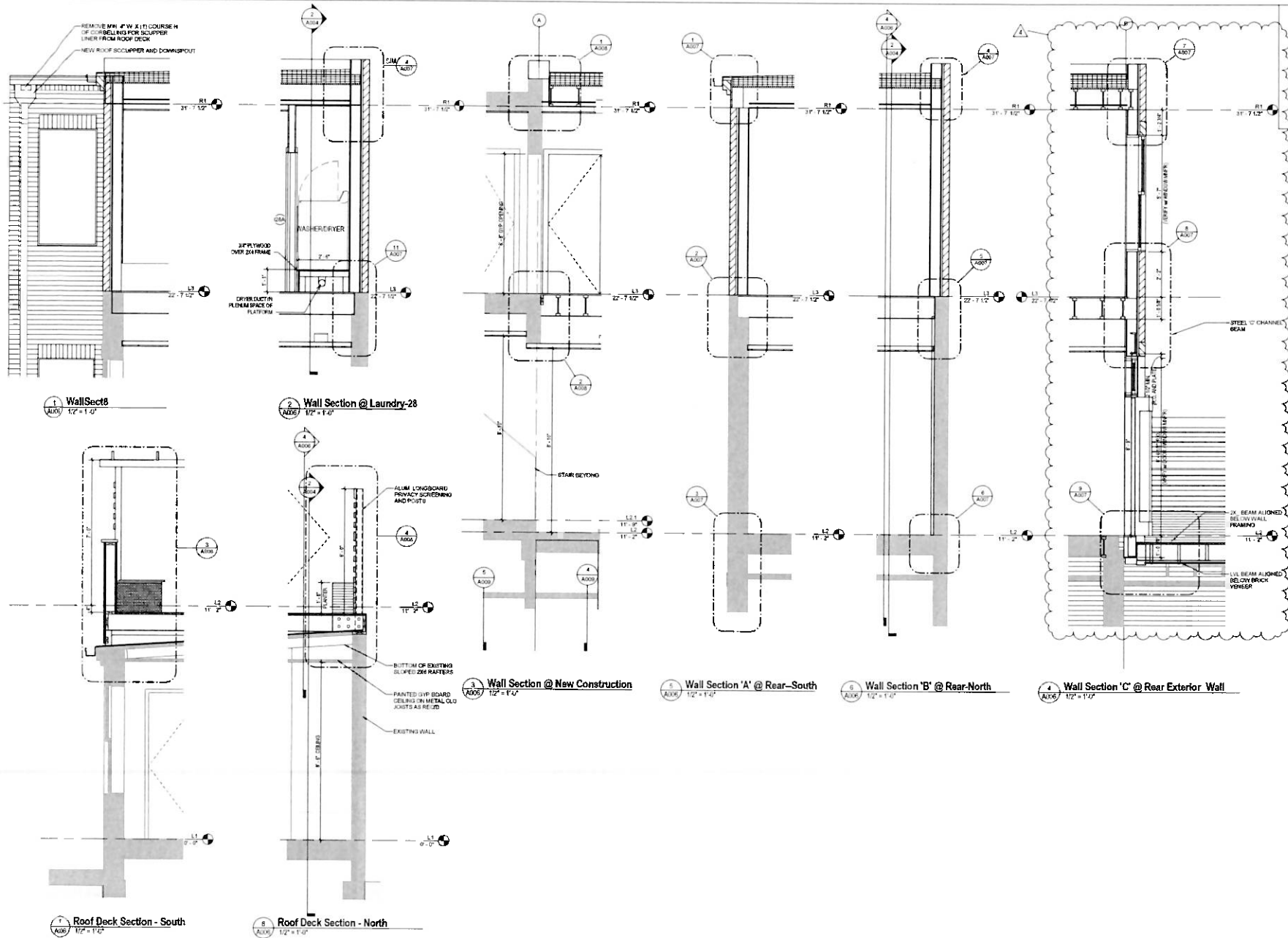
KGRW & Associates, LLC
Development Services | Planning | Architecture | Interiors
1800 14th Street NW, Suite 200 | Washington, DC 20005 | 202.462.8900

Cargill Residence
316 2nd Street SE, Washington, DC 20003

4	09/11/2021	Revision 4
3	12/17/2020	Revision 3
2	10/03/2020	Revision 2
1	09/22/2020	Revision 1
0	09/11/2020	Sheet Set

BUILDING SECTIONS

Sheet No.	1001
Project No.	A005
Scale	1/4" = 1'-0"



I hereby declare that these documents were prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Maryland.

architect
KGRW & Associates, LLC
 1900 17th Street, NW
 Suite 200
 Washington, DC 20036
 202.462.8800
 www.kgrw.com



KGRW & Associates, LLC
 Development Services | Planning | Architecture | Interiors
 1044 16th Street, NW, Suite 200 | Washington, DC 20036 | 202.462.8800 | www.kgrw.com

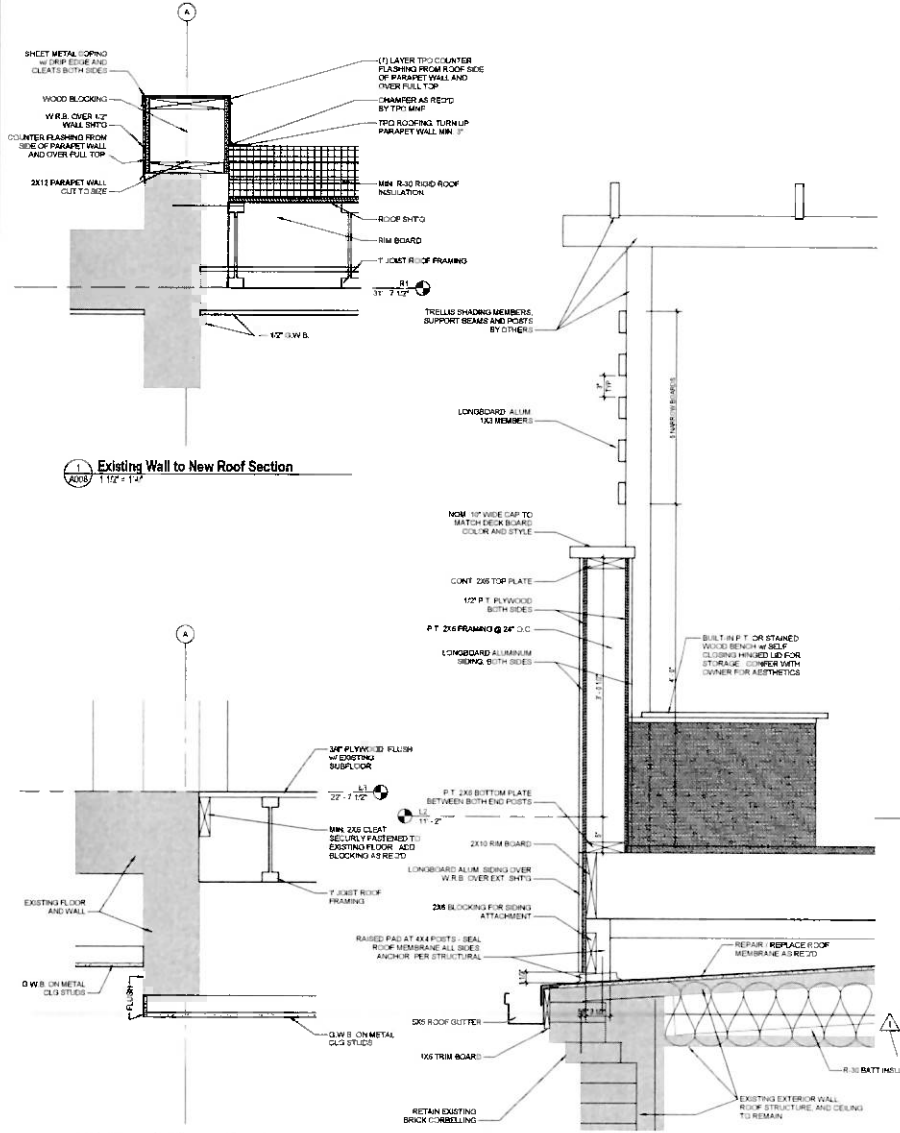
Cargill Residence
 316 2nd Street SE, Washington, DC 20003

Rev	Date	Description
4	08/11/2021	Revision 4
3	12/17/2020	Revision 3
2	10/19/2020	Revision 2
1	07/25/2020	Revision 1
0	07/13/2020	Permit Set

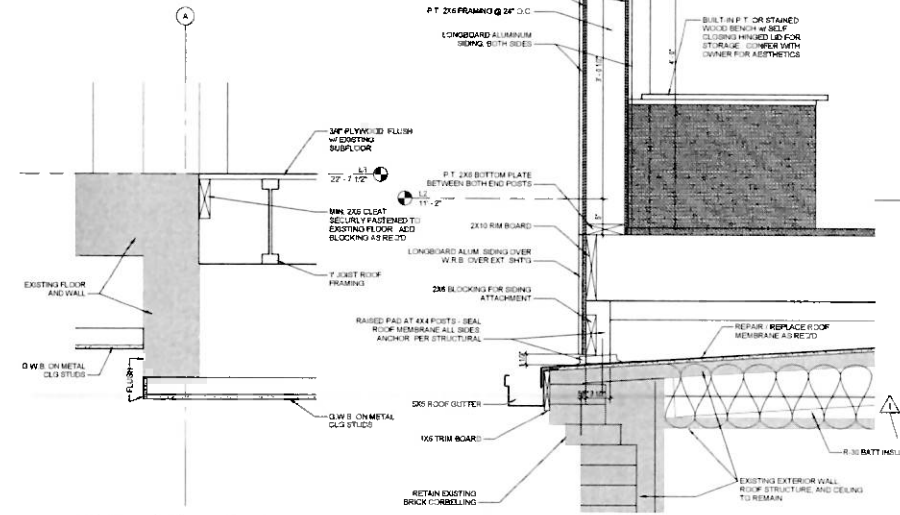
WALL SECTIONS

A006

A007

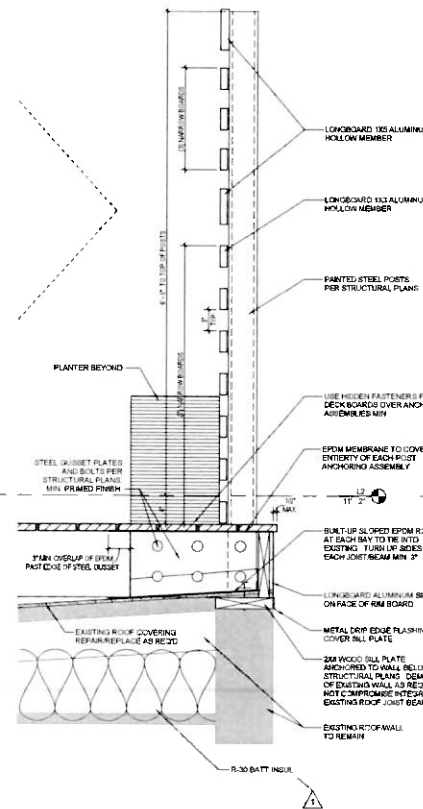


1 Existing Wall to New Roof Section
1 1/2" x 1 1/2"

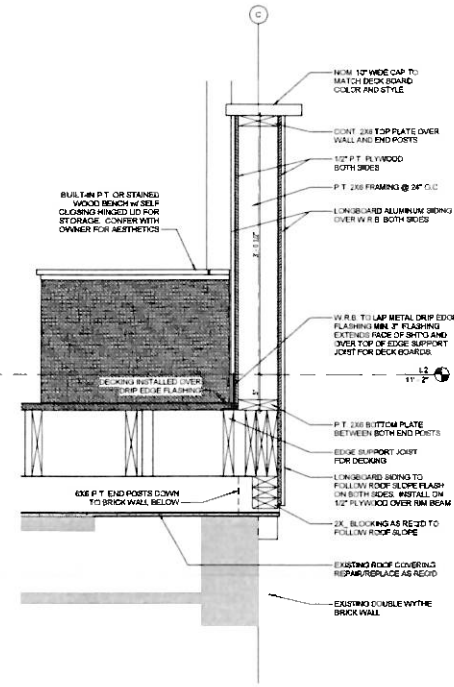


2 Existing Wall to New Floor Section
1 1/2" x 1 1/2"

3 Deck Section Detail 1
1 1/2" x 1 1/2"



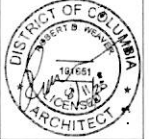
4 Deck Section Detail 2
1 1/2" x 1 1/2"



5 Deck Section Detail 3
1 1/2" x 1 1/2"

I certify that these documents were prepared by myself or under my direct supervision and that I am a duly licensed professional in the State of Virginia. I am a member of the Virginia Board of Architecture. (Professional Seal Required)

KGRW & Associates, LLC
1000 2nd Street, SE, Washington, DC 20003
410.596.8300
www.kgrw.com



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Development Services | Planning | Architecture | Interiors
1000 2nd Street, SE, Washington, DC 20003 | 410.596.8300 | www.kgrw.com

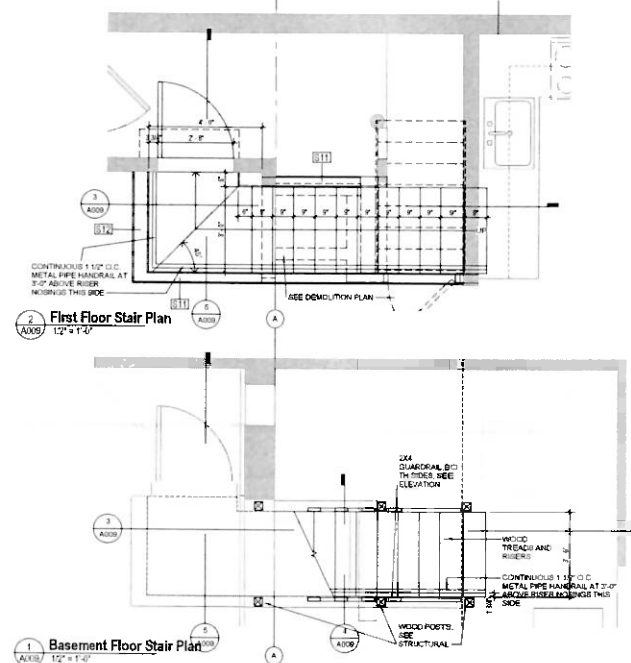
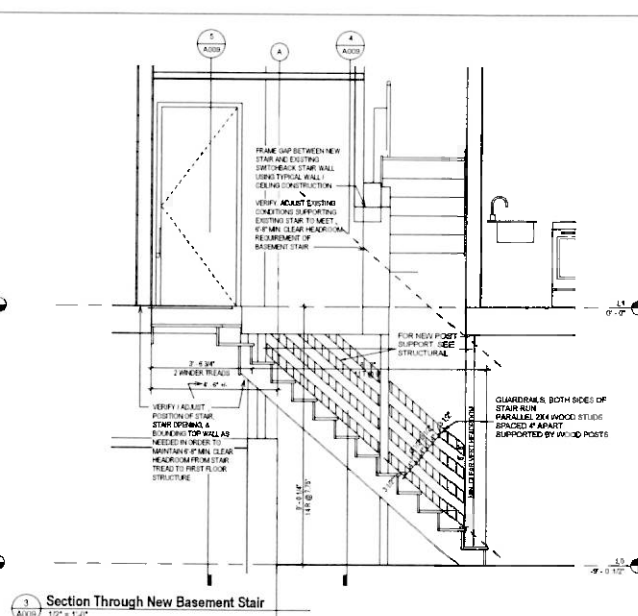
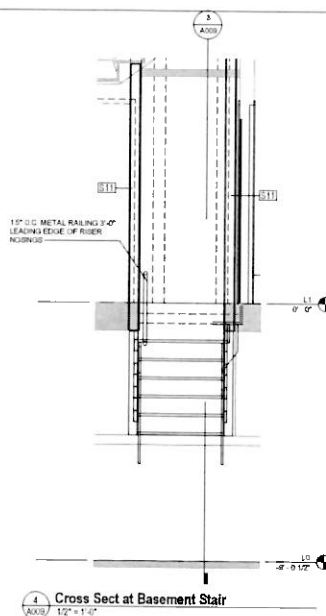
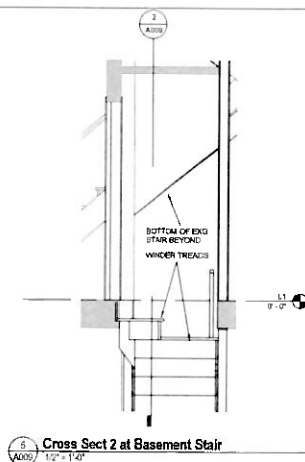
Cargill Residence
316 2nd Street SE, Washington, DC 20003

4	09/13/2021	Revision 4
3	12/15/2020	Revision 3
2	10/05/2020	Revision 2
1	09/22/2020	Revision 1
0	08/13/2020	Permit Set

SECTIONAL
DETAILS

Drawn By: [Blank]
Checked By: [Blank]
Project No: [Blank]
Date: [Blank]

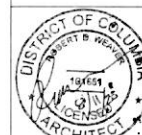
A008



I certify that these documents were prepared, approved, and filed in accordance with the rules of the Office of the Clerk of the Court of the Commonwealth of Massachusetts.

archMed

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Cargill Residence

316 2nd Street SE, Washington, DC 20003

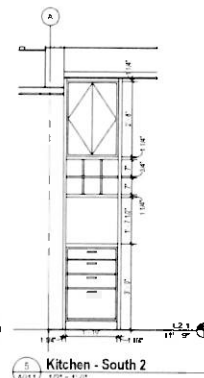
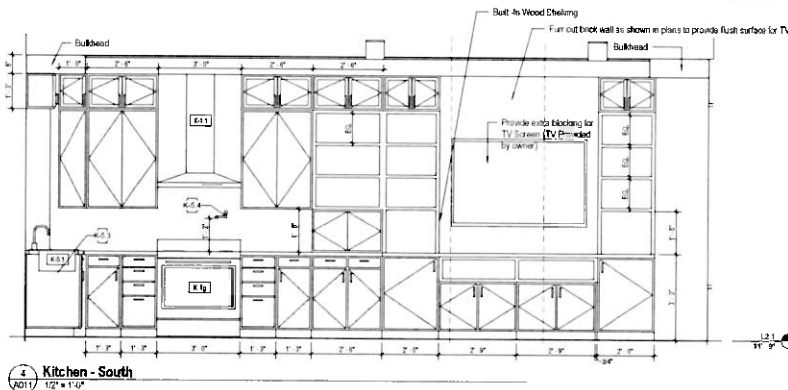
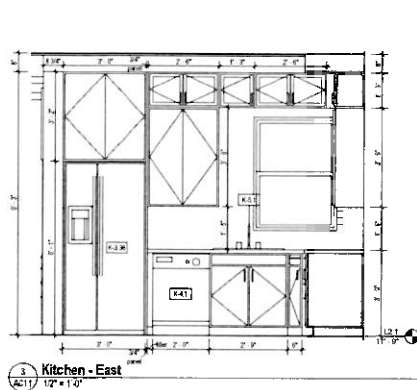
4	08/11/2021	Revision 4
3	12/17/2020	Revision 3
2	10/19/2020	Revision 2
1	09/22/2020	Revision 1
0	08/11/2020	Plant Kit
No.	Date	Description

BASEMENT STAIRS

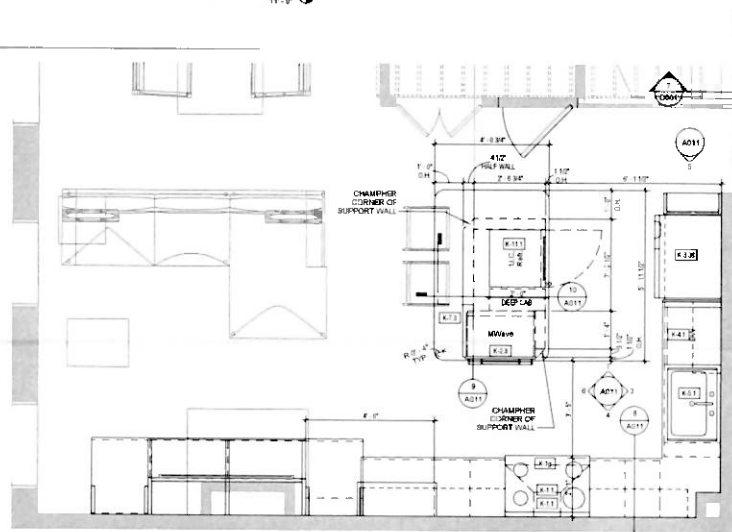
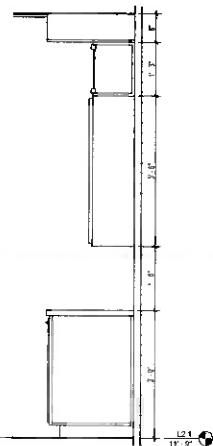
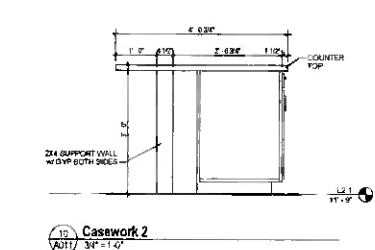
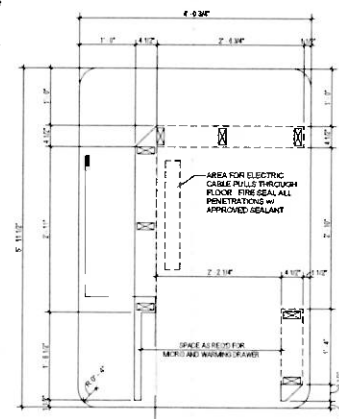
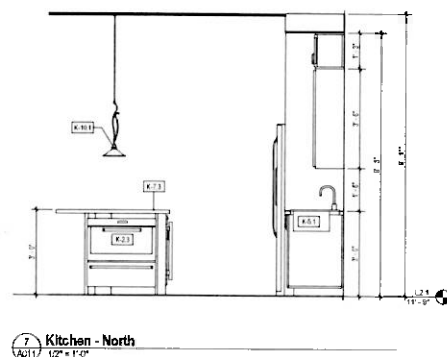
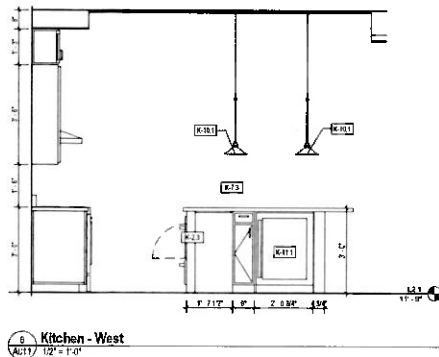
A009



A010



Keynote Legend	
Key Value	Keynote Text
K-1.1	RANGE HOOD
K-1g	GAS RANGE
K-2.3	MICROWAVE - UNDER COUNTERTOP
K-3.36	REFRIGERATOR - 36" WIDE
K-4.1	DISHWASHER
K-5.1	SINGLE BOWL SINK
K-6.3	DISPOSAL
K-5.4	POT FILLER - WALL MOUNTED
K-7.3	ISLAND / PENINSULA COUNTERTOP ON HALF WALL
K-10.1	SEE ELECTRICAL PLANS FOR LIGHT FIXTURE TYPE AND DIMENSIONS
K-11.1	UNDER COUNTER DRINK FRIDGE



I warrant that these documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Maryland. I warrant that these documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Maryland.

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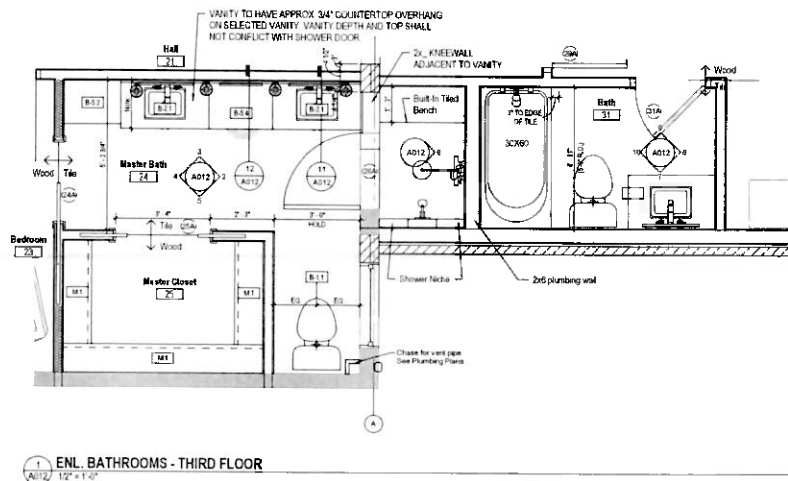
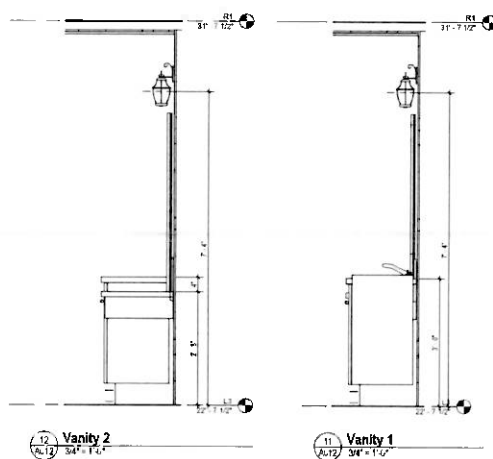
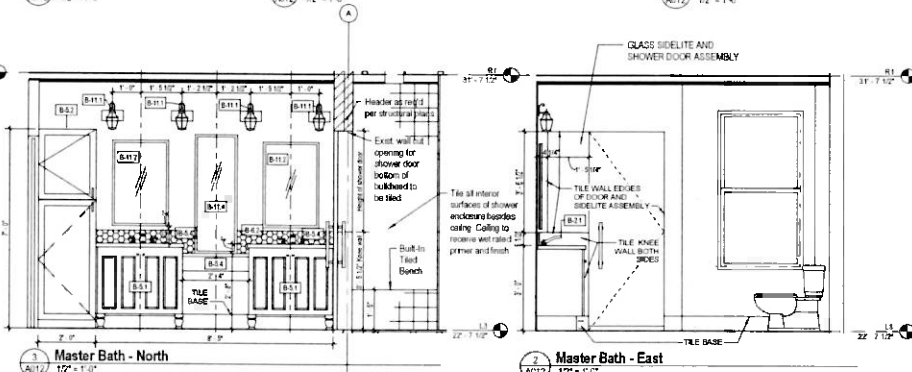
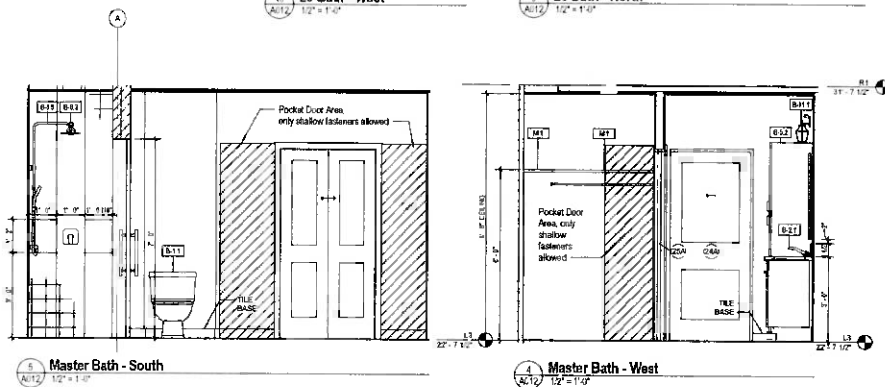
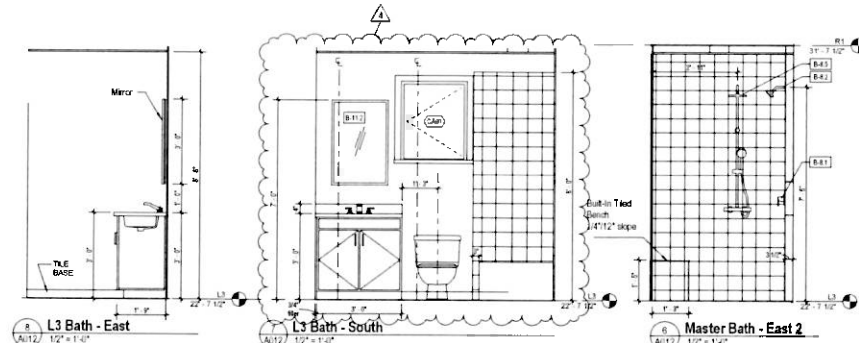
KGRW & Associates, LLC
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4	08/12/2021	Revision 4
3	12/07/2020	Revision 3
2	10/10/2020	Revision 2
1	09/25/2020	Revision 1
0	08/11/2020	Permit Set
Rev.	Date	Description

KITCHEN

A011




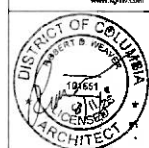
Keynote Legend	
Key Value	Keynote Text
B-1.1	TOILET - FLOOR MOUNT
B-2.1	VANITY SINK
B-5.1	VANITY CABINET
B-5.2	TALL LINEN CABINET
B-5.4	VANITY COUNTERTOP
B-6.2	5 1/2" x 12" TILE HIGH BACKSPASH AT REAR AND END WALLS
B-8.1	SHOWER CONTROL & SETTING DIVERTER LINKING 3 HEADS/SOURCES
B-8.2	SHOWER HEAD
B-8.5	RIN. SHOWER HEAD W/ HANDHELD SHOWER HEAD
B-11.1	VANITY LIGHT
B-11.2	FRAMED MIRROR - 24" x 36"
B-11.4	FRAMED MIRROR - 18" x 50"

GENERAL NOTE: SELECTED TILE TO HAVE SCHLUTER CORNERS AND EDGE PROFILES AS REQ'D OR EO. TILE MAY ALSO TRANSITION TO A SURFACE USING BULLNOSE TILE IF APPLICABLE.

4	09/12/2021	Revision 4
3	12/17/2020	Revision 3
2	10/19/2020	Revision 2
1	09/25/2020	Revision 1
0	08/12/2020	PearlR Set
No.	Date	Description

BATHROOMS

A012



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10401 Sunrise Ave., Suite 100, Denver, CO 80231 | 303.440.4400
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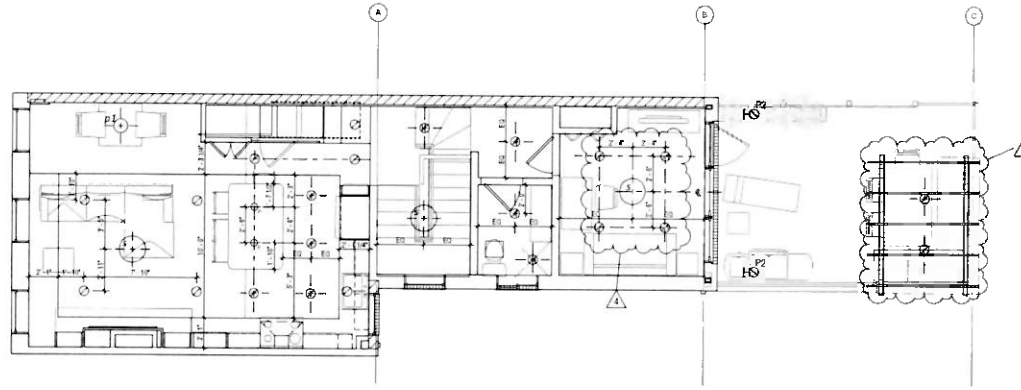


TKKGRW & Associates, LLC
Development Services | Planning | Architecture | Interiors
3404 N. 10th, 4th Floor, Suite 401 | 2406 N. 1st, 4th Floor, Suite 401 | 2406 N. 1st, 4th Floor, Suite 401
3404 N. 10th, 4th Floor, Suite 401 | 2406 N. 1st, 4th Floor, Suite 401 | 2406 N. 1st, 4th Floor, Suite 401

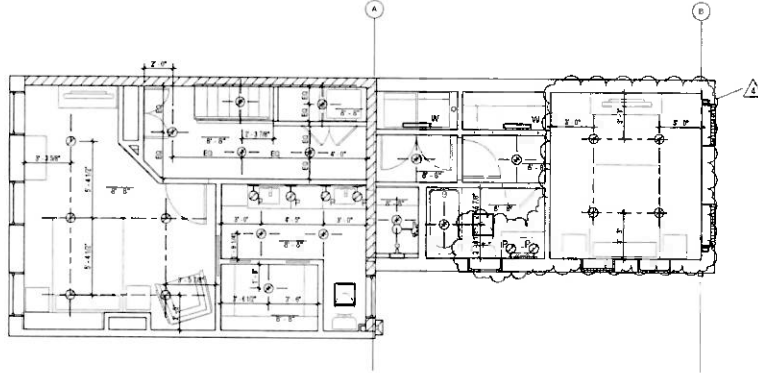
Cargill Residence
316 2nd Street SE, Washington, DC 20003

REFLECTED
CEILING PLANS

Drawn By	TCG	A013
Checked	TCG	
Project No.	10000000	
Date	10/10/10	



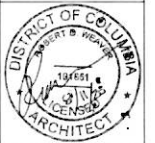
1 2nd Floor Reflected Ceiling Plan
A013 14' x 11'



2 3rd Floor Reflected Ceiling Plan
A014 14' x 11'

I hereby declare that this document is my original work and that I am the author of the design and content of this document. I am not a copyist or imitator of any other work.

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Cargill Residence
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No.	Date	Revision
4	07/15/2021	Revision 4
3	12/17/2020	Revision 3
2	10/19/2020	Revision 2
1	07/20/2020	Revision 1
0	07/15/2020	Plan 00 Set

**REFLECTED
CEILING PLANS**

Drawn by: [blank]
Checked by: [blank]
Project No: [blank]
Date: 07/15/2021

A014

DOOR LIST								
Count	Mark	Type Mark	Family	Type	Door Mark	Width	Height	Type Comments
1	07A	PK40	08 1 Sgl	30w 84h		2'-8"	7'-0"	
1	14A	PK10	08 1 Sgl	30w 30h		2'-0"	3'-0"	
1	14C	PK10	08 Plato Sgl	30w 30"		3'-0"	0'-0"	
1	21A	PK14	08 Double	42w 84h		3'-0"	0'-0"	
1	23A	PK10	08 1 Sgl	30w 84h		2'-10"	6'-0"	
1	24A	PK40	08 Single Pocket	30w 84h		2'-10"	0'-0"	
1	25A	PK44	08 Double Pocket	42w 84h		3'-4"	0'-0"	
1	26A	PK10	08 Double	42w 84h		3'-0"	0'-0"	
1	29A	PK10	08 1 Sgl	30w 84h		2'-0"	0'-0"	
1	31A	PK10	08 Double Pocket	42w 84h		2'-0"	0'-0"	
1	31A	PK10	08 1 Sgl	30w 84h		2'-0"	0'-0"	

WINDOW LIST								
Count	Type Mark	Family	Type	Width	Height	Base of Design	Type Comments	
3	CA01	08 Casement	28w34h	2'-4"	2'-10"		with muntins, screens, interior trim	
1	DA01	08	30w 48h	2'-11"	4'-0"		with muntins, screens, interior trim	
3	DA03	08	30w 67h	3'-0"	5'-7"		with muntins, screens, interior trim	
1	SL01	08 Fixed style	30w 87"	3'-1 1/2"	0'-9 1/2"		Part of assembly, interior trim	
1	SL02	08 Fixed style	42w 87"	3'-5 1/2"	0'-9 1/2"		Part of assembly, interior trim, Contractor to select width to fit 10'-0" opening	
2	TR01	08 Fixed transom	30w10h	3'-1 1/2"	1'-0"		Part of assembly, interior trim	
1	TR02	08 Fixed transom	42w20h	3'-5 1/2"	1'-0"		Part of assembly, interior trim, Contractor to select width to fit 10'-0" opening	

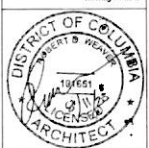
NOTE: ALL WINDOWS AND DOORS TO BE BUILT WITH CUSTOM WOOD WITH BRONZE MOUNTING

Room Schedule									
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Trim Finish	Door Finish	Finish Comments	
01	Basement	EX	EX	EX	EX	EX	EX		
02	Crawl Space	EX	EX	EX	EX	EX	EX		
03	Crawl Space	EX	EX	EX	EX	EX	EX		
04	Crawl Space	EX	EX	EX	EX	EX	EX		
05	Foyer	CT	EX	EX	EX	EX	EX		
06	Hall	CT	EX	EX	EX	EX	EX		
07	Stair	CT	M.E.	GWB	EX	M.E.	PTD		
08	Livingroom	WD	M.E.	GWB	P.EX	EX	EX		
09	Bedroom / Lind	CT	TB	P.EX	P.EX	EX	EX		
10	Bedroom	WD	P.EX	GWB	P.EX	EX	EX		
11	Bedroom	WD	EX	P.EX	GWB	EX	EX		
12	CL	WD	EX	P.EX	GWB	EX	EX		
13	Bath	CT	TB	P.EX	GWB	EX	EX		
14	Livingroom	WD	M.E.	P.EX	GWB	M.E.	EX		
15	CL	WD	M.E.	EX	EX	M.E.	EX		
16	Star Hall	WD	M.E.	EX	P.EX	M.E.	EX		
17	Bath	CT	TB	CT/GWB	P.EX	M.E.	EX		
18	Den	WD	M.E.	GWB	M.E.	AN	EX		
19	CL	WD	M.E.	EX	EX	M.E.	EX		
20	Deck							SEE SECTIONAL DETAILS	
21	Hall	WD	M.E.	GWB	GWB	M.E.	PTD		
22	CL	WD	M.E.	GWB	GWB	M.E.	PTD		
23	Bedroom	WD	M.E.	GWB	GWB	M.E.	PTD		
24	Master Bath	CT	CT	GWB-1	GWB	M.E.	PTD	SEE INTERIOR ELEVATIONS	
25	Master Closet	WD	M.E.	GWB	GWB	M.E.	PTD	CONFIRM FLOOR FINISH WITH OWNER	
26	SHW	CT	CT	CT	GWB	M.E.	PTD		
27	Mod	WD	EX	EX	EX	EX	PTD		
28	Laundry	WD	GWB	GWB	GWB	M.E.	PTD		
29	Bedroom	WD	GWB	GWB	GWB	M.E.	PTD		
30	Closet	WD	GWB	GWB	GWB	M.E.	PTD		
31	Bath	CT	GWB	GWB	GWB	M.E.	PTD	SEE INTERIOR ELEVATIONS	

Rooms					
TAG	DESCRIPTION	CONSTRUCTION	MANUFACTURE	COLOR NUMBER	PICTURE NOTES
01	Concrete wall/floor				
02	Hardwood/floor				
03	Cement				
04	Cement				
05	VCT				
06	Wood Panel Sides				
Base					
07	Wood Panel Sides				
08	Cement				
Walls					
09	Concrete wall/floor				
10	Hardwood/floor				
11	Cement				
12	Cement				
13	VCT				
14	Wood Panel Sides				
Ceiling					
15	Concrete wall/floor				
16	Hardwood/floor				
17	Cement				
18	Cement				
19	VCT				
20	Wood Panel Sides				
Doors					
21	Concrete wall/floor				
22	Hardwood/floor				
23	Cement				
24	Cement				
25	VCT				
26	Wood Panel Sides				

Locally produced from local materials and labor. All materials and labor are subject to change without notice. All materials and labor are subject to change without notice.

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0	08/11/2021	Permit Set

Rev. Date Description

SCHEDULES

Sheet No. **A015**